

CITY OF
VICTORVILLE

Victorville Water District



760-245-6424
Fax: 760-269-0088
www.ci.victorville.ca.us
17185 Yuma St.
Victorville, CA 92395-5886

Jan 29, 2010

Mr. Simon Eching
California Department of Water Resources
Water Use and Efficiency Branch
Post Office Box 942836
Sacramento, CA 94236-0001

Dear Mr. Eching:

Re: City of Victorville Water Conservation and Landscape Ordinance 2114

Please find enclosed a copy of the City of Victorville's Water and Landscape Ordinance, Landscape Standards, conservation water rates, and related findings. It is believed Ordinance 2114 combined with established related landscape standards and policies, in conjunction with City wide efforts and practices in promoting Ordinance 2114, are at least as effective in conserving water as the State updated Model Water Efficient Landscape Ordinance.

The City of Victorville adopted Ordinance 2114, on October 4, 2005, amending the Victorville Municipal Code Chapter 13.60 "Water Conservation" with the objective of relieving the strain on our water resources, due to rapid growth. This amendment has effectively reduced overall water usage by limiting water intensive turf in new nonresidential areas and limiting turf only to the rear yards on model home and new residential development landscaping; prohibits wasteful water practices for all users; and effectively continues to reduce water waste in landscape irrigation.

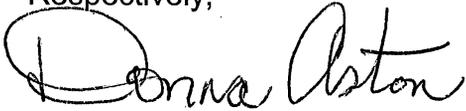
Other City departments collaborate with the Water Department on Ordinance compliance by educational notification to customers of wasteful water use practices by Conservation Specialists; with City Code Enforcement follows up on non-compliance issues. Water Conservation Specialists are assigned an area to survey for wasteful water use, and while performing their duties throughout the City, all other City and Water employees lookout for water waste and turn in a simple form when discovered. A water waste hot-line number is promoted, which customers use to report water waste issues that are tracked and investigated by Conservation Specialists.

The Water District has placed restrictions on when automated systems can be operated based on maximum irrigation efficiency, by establishing winter and summer watering hours. Conservation Specialists offer water audits, automated timer assistance, and/or water use analysis, indoor/out, to all customers. Water rates are designed to further encourage using water wisely; by adjusting service fees on water use upward, depending on daily consumption.

In addition to the adoption of this ordinance and department collaboration in effectively reducing consumption, a cash for grass incentive program was also established in fiscal year 2004/05 and a high efficiency toilet and washer rebate program began in 2008, which continue today. All these efforts have been effective and believed to be as effective as the State model ordinance.

The adopted amendments to Ordinance 2114, Water Conservation and Landscaping in 2004, planning design guidelines, combined with regulations and policies, ensure the City of Victorville Water District is in compliance with the state mandates in possessing an effective landscape ordinance at least effective as the State Model. If you require additional information or have any questions about the City of Victorville Water District's submittals, please contact Donna Aston, Conservation Supervisor at 760-955-2016 or daston@ci.victorville.ca.us.

Respectively,

A handwritten signature in black ink that reads "Donna Aston". The signature is written in a cursive style with a large, looped initial "D".

Donna Aston
Conservation Supervisor
Victorville Water District

CC: Steve Ashton, Water Production Manager

Enclosures: 1. Ordinance 2114 2. Rate structure 3. Landscape and Irrigation design guidelines 4. Tracking and plan checks 5. Additional findings—depicting water savings results

ORDINANCE NO. 2114

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF
VICTORVILLE AMENDING CHAPTER 13.60 "WATER
CONSERVATION" OF THE VICTORVILLE MUNICIPAL CODE
RELATING TO WATER CONSERVATION AND LANDSCAPING

WHEREAS, the rapid growth of the Victor Valley (the "Valley") generally, and the City of Victorville (the "City") specifically, has placed and continues to place a substantial strain on the water resources of the Valley; and

WHEREAS, it is the policy of the City to conserve and protect its valuable and critical water resources; and

WHEREAS, it is the intent and policy of the City Council of the City (the "City Council") to ensure the continued health, safety, welfare, and quality of life for the existing and future residents and visitors to the City by assisting in the conservation of its water resources; and

WHEREAS, the City Council finds that it is in the best interests of citizens of the City to enact an ordinance that seeks to prevent the misuse of our water supply through measures that include restrictions on water usage; and

WHEREAS, enforcement of water restrictions may be made more effective through education and/or the use of a citation system; and

WHEREAS, use of the citation system will allow the imposition of civil penalties for violation of the provisions of the Water Conservation Ordinance; and

WHEREAS, the imposition of civil penalties for violations of the Water Conservation Ordinance will protect the water resources of the City;

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF VICTORVILLE DOES HEREBY ORDAIN AS FOLLOWS:

Section 1. RECITALS

The recitals set forth above are true and correct, and are hereby incorporated by this reference as if set forth in their entirety.

Section 2. AMENDMENT OF CHAPTER 13.60 "WATER CONSERVATION"

The Victorville Municipal Code Chapter 13.60 "Water Conservation" shall be amended to read as follows:

- 13.60.100 Definitions
- 13.60.105 Application of Chapter
- 13.60.110 Drought Tolerant Plants
- 13.60.115 Prohibited Water Uses
- 13.60.120 Limitation on Water Intensive Landscape and Turf Areas Within New Nonresidential Facilities
- 13.60.130 Limitations on Model Home Landscaping
- 13.60.140 Public Education During Drought
- 13.60.150 Drought Management Plan Implementation
- 13.60.160 Notification and Publication of Drought Management Plan
- 13.60.170 Enforcement of Drought Management Plan
- 13.60.180 Variances From Drought Management Plan
- 13.60.190 Limited Exemption to Restrictions for Users of Reclaimed Water
- 13.60.200 Violations
- 13.60.210 Right to Hearing

13.60.100 Definitions

Acre-foot of water means that quantity of water required to cover one (1) acre of land one (1) foot deep, or three hundred twenty-five thousand, eight hundred fifty-one (325,851) gallons.

Active recreational area means an area designated and primarily used for organized sports, including, without limitation, softball, baseball, football, soccer or a similar related sport, including all amenities related to the activity.

Body of water means any artificially constructed lake, pond or lagoon, regardless of size.

City means the City of Victorville.

Controller means a mechanical timer capable of operating valve stations to set days, length of time and frequency of water application.

Escaped water means the pumping, flow release, escape or leakage of any water from any pipe, valve, faucet, connection,

diversion berm, well, or any facility for the purposes of water supply, transport, storage, disposal, or delivery onto adjacent property or public right-of-way.

Excess runoff means water accumulation on streets, gutters, neighboring properties or other areas in an amount sufficient to cause flow.

Manager means the City Manager or the City Manager's designee.

Lot means a legally created parcel of land occupied or intended for occupancy by one (1) main building together with its accessory buildings, and uses customarily incidental to it, including the open space required by the City's zoning ordinance, and having its principal frontage upon a street as defined in the City's zoning ordinance.

Model home means a facility used exclusively for the promotion and sale of homes similar to the model.

Person means an individual, corporation, partnership, incorporated association or any other similar entity.

Public water system means any publicly or privately owned network of pipes, conduits, wells, reservoirs, holding tanks and other components, including any combination thereof, which supplies water to water users, who are charged a fee of any kind or nature for such purpose, or which is designed to supply water or is capable of supplying water to water users for a fee, and includes any such system whether it is operated under the regulatory authority of the City of Victorville, but does not include any irrigation company or district whose primary purpose is to supply water for farming.

Residential development means the development of any type of dwelling unit or units suitable or designed for human habitation, including, but not limited to, single family homes, condominiums or manufactured homes, but not including hotels, motels, licensed convalescent homes, commercially operated retirement homes, time share units, or the like. "Residential development" shall not include remodeling or reconstruction where no new dwelling unit is created.

Right of way means land which by deed, conveyance, agreement, easement, dedication, usage or process of law is

reserved for or dedicated to the general public for street, highway, alley, public utility, or pedestrian walkway purposes.

Turf means a surface layer of earth containing grass with its roots.

Turf-related facility means a school, public recreational facility, cemetery, golf course, industrial park or common area of a housing development that applies water from any source, including effluent.

Water intensive landscape means an area of land that is watered with a permanent water application system and planted primarily with plants not listed in section 13.60.110 "Drought Tolerant Plants." Included is the total surface area of all water features (i.e. swimming pools of any size, fountains, ponds, water courses, waterfalls, and other artificial water structures) filled or refilled with water from any source.

Water purveyor means the owner or operator of a public water system.

Water user means those persons, customers and properties served by a water purveyor within the incorporated boundaries of the City.

Water waste means the intentional or unintentional use or excessive dissipation of water, which is unproductive or does not reasonably sustain life or economic benefits.

13.60.105 Application of Chapter

The provisions of this chapter shall apply to all water users. The restrictions or prohibitions in this chapter shall not apply to water use, runoff or flow:

- (a) resulting from fire fighting, hydrant flushing or fire training activities; or
- (b) necessary to prevent or abate threats to the public health or safety; or
- (c) from routine maintenance of any public water system, well flushing, or from temporary water system failures or malfunctions.

13.60.110 Drought Tolerant Plants

The following categories of plants are hereby designated as "drought tolerant plants" and are not subject to any limitations in this chapter relating to water intensive landscape restrictions.

Accents

Agave species: *A. Americana* (Century Plant);
A. parryi huachucensis; *A. victoriae-reginae*
Dasyilirion wheeleri, Desert Spoon
Nolina microcarpa, Bear Grass
Hesperaloe parviflora, Red Yucca
Kniphofia uvaria, Red-Hot Poker, Torch Lily
Yucca species: *Y. aloifolia*, Spanish Bayonet;
Y. baccata, Banana Yucca, Datil; *Y.*
brevifolia, Joshua Tree; *Y. elata*, Soap tree
Yucca
Chamaerops humilis, Mediterranean Fan Palm
Trachycarpus fortunei, Windmill Palm
Washingtonia filifera, California Fan Palm

Grasses

Ornamental

Muhlenbergia rigens, Deer Grass
Muhlenbergia capillaris, Regal Mist
Muhlenbergia lindheimeri, Autumn Glow
Festuca ovina glauca, Blue Fescue
Bouteloua gracilis, Blue Grama
Nassella tenuissima (*Stipa tenuissima*),
Mexican Feather Grass

Turf

Buchloe dactyloides, Buffalo Grass (Legacy)
Buchloe dactyloides, Buffalo Grass (UC
Verde)

Warm-Season Grasses (winter dormant):

Zoysia, Zoysia Grass

Stenotaphrum secundatum, St. Augustine Grass

Cool-Season Grasses (year round):

Festuca arundinacea, Tall Fescue

Lolium perenne, Perennial Ryegrass

Poa pratensis, Kentucky Bluegrass

Ground Covers

Oenothera berlandieri, Mexican Evening Primrose

Santolina chamaecyparissus, Lavender Cotton

Cerastium tomentosum, Snow-in-Summer

Gazania, most varieties

Sedum, most varieties

Thymus, most varieties

Verbena peruviana; *V. pulchella*

Dalea greggii, Trailing Indigo Bush

Rosmarinus officinalis, 'Prostratus'

Phlox, most varieties

Perennial Flowers

Coreopsis, most varieties

Penstemon ambiguus, *P. barbatus*, *P.*

centranthifolius, *P. eatonii*, *P. palmeri*, *P.*

parryi, *P. pinifolius*, *P. pseudospectabilis*,

P. strictus

Cosmos, most varieties

Convolvulus cneorum, Bush Morning Glory

Perovskia, Russian Sage or Blue Spire

Berlandiera lyrata, Chocolate Flower

Gaura lindheimeri, 'Whirling Butterflies,'

'Siskiyou Pink'

Hemerocallis, Daylily, most varieties

Rosmarinus officinalis, most prostrate and upright varieties

Verbena gooddingii, *V. peruviana*, *V. rigida*

Shrubs

Salvia greggii, Red Sage, Autumn Sage

Salvia clevelandii, Blue Sage, Cleveland Sage

Salvia chamaedryoides, Germander Sage

Fallugia paradoxa, Apache Plume

Leucophyllum frutescens, Texas Ranger species, several varieties

Leucophyllum laevigatum, Chihuahuan Sage

Baccharis 'Centennial', Coyote Bush

Baccharis pilularis, Dwarf Coyote Brush

Artemisia, 'Powis Castle'

Cotoneaster horizontalis, Rock Cotoneaster

Photinia fraseri

Grevillea 'Noellii'

Trees

Evergreen

Eucalyptus camaldulensis (rostrata), Red River

Eucalyptus microtheca, Coolibah

Pinus eldarica, Eldarica Pine, Afghan Pine, Russian Pine

Pinus halepensis, Aleppo Pine

Pinus pinea, Italian Stone Pine

Cedrus deodara, Deodar Cedar

Calocedrus decurrens, Incense Cedar

Heteromeles arbutifolia, Toyon

Sophora secundiflora, Texas Mountain Laurel

Arbutus unedo, Strawberry Tree
Pithecellobium flexicaule, Texas Ebony

Deciduous

Albizia julibrissin, Silk Tree, Mimosa
Chilopsis linearis, Desert Willow,
'Burgundy'
Chitalpa tashkentensis, Pink Dawn, Morning
Cloud
Parkinsonia floridum, Blue Palo Verde
Parkinsonia microphyllum, Littleleaf Palo
Verde
Parkinsonia aculeata, Mexican Palo Verde
Fraxinus angustifolia, 'Raywood' (Raywood
Ash)
Fraxinus velutina, Arizona Ash
Fraxinus velutina, 'Modesto' (Modesto Ash)
Prosopis chilensis, Chilean Mesquite
Prosopis glandulosa, Honey Mesquite
Prosopis pubescens, Screw Bean Mesquite
Gleditsia triacanthos, Honey Locust
Pistacia chinensis, Chinese Pistache
Vitex agnus-castus, Chaste Tree, Monk Tree

13.60.115 Prohibited Water Uses and Water Waste

(a) It shall be unlawful for any water user of a public water system to allow water waste at any location or premises within the City limits after having been served with a notice of violation, pursuant to section 13.60.200 of this chapter, for wasting water from the same location or premises.

(b) It shall be unlawful for any owner, occupier or manager of real property within the City to allow water waste at any such real property after having been served with a notice of violation, pursuant to section 13.60.200 of this chapter, for wasting water from the same location or premises.

(c) It shall be unlawful for any water user within the City to make, cause, use or permit the use of water for residential, commercial, industrial, agricultural or any other purpose in a manner contrary to any provision of this chapter.

(d) It shall be unlawful for any water user to cause or permit any water furnished to any property within the City to run or to escape from any hose, pipe, valve, faucet, sprinkler or irrigation device onto any sidewalk, street or gutter or to otherwise escape from the property, if such running or escaping can reasonably be prevented.

(e) It shall be unlawful for any water user to wash any vehicle, equipment, or other object, or any driveway, parking lot, sidewalk, street or other paved surface, in any manner permitting runoff for more than five consecutive minutes, or a total of twenty minutes in any 24-hour period.

(f) Commercial and noncommercial watering of turf, ground cover, open ground, shrubbery, crops, gardens and trees, including agricultural irrigation, in a manner or to an extent which allows excess runoff shall not be permitted. A minimum amount of runoff, which is a natural consequence of conservative watering, either by hand or by mechanical or automated sprinkling facilities, is permitted, so long as such runoff does not amount to excess runoff as defined in this chapter.

(g) It shall be unlawful for any water user permit the excess use, loss or escape of water through breaks, leaks or other malfunctions in the water user's plumbing or distribution system for any period of time after such escape of water should have reasonably been discovered and corrected.

(h) It shall be unlawful for any water user to willfully or negligently permit or cause the escape or flow of irrigation water in such quantity as to cause flooding, impede vehicular or pedestrian traffic, create a hazardous condition to such traffic, or cause damage to public or private rights of way through failure or neglect to properly operate or maintain any irrigation structure, delivery ditch or waste ditch.

(i) It shall be unlawful for any water user to water or permit the watering of water intensive landscape or turf at time other than as authorized by the water purveyor.

(j) It shall be unlawful for any water user to willfully or negligently fail to accept irrigation water after it has been ordered.

13.60.120 Limitation on Water Intensive Landscape and Turf Areas Within New Nonresidential Facilities

(a) The following types of facilities shall limit the water intensive landscape and turf within the landscaped area to the following percentages of the total lot area, and all remaining landscaped area shall consist of plants listed in section 13.60.110 of this chapter:

(1) Churches: Twenty five percent (25%) of total lot area.

(2) Resorts, including hotels and motels: Ten percent (10%) of the total lot area.

(3) Commercial and industrial uses, fewer than nine thousand square feet: Ten percent (10%) of the total lot area.

(4) Commercial and industrial uses, nine thousand square feet to one acre: Ten percent (10%) of the first nine thousand (9,000) square feet, and five percent (5%) of the remaining lot area.

(5) Commercial and industrial uses, greater than one acre: No additional water intensive landscape and turf beyond the amounts allowed in section 13.60.120(a)(4).

(6) Common areas in residential developments: Ten percent (10%) of the first acre and five percent (5%) of each additional acre up to five (5) acres. Residential developments larger than five (5) acres shall not plant any additional water intensive landscape and turf in common areas.

(b) Active recreational areas shall not be considered in calculating the percentage of the total lot area and shall not be considered in determining compliance with this section.

(c) No water intensive landscape or turf shall be permitted in any right of way.

13.60.130 Limitations on Model Home and New Residential Development Landscaping

(a) All new model homes and new residential development shall limit water intensive landscape and turf area to the rear yard at the following percentage of the total lot area, and all remaining landscaped area shall consist of plants listed in section 13.60.110 of this chapter:

(1) Nine thousand (9,000) square feet or less. Ten percent (10%) of the total lot area.

(2) Nine thousand one (9,001) square feet to one (1) acre. Ten percent (10%) of the first nine thousand (9,000) square feet and five (5) percent of the remainder of the lot area.

(3) Greater than one (1) acre. No additional water intensive landscape or turf area shall be permitted beyond that allowed in section 13.60.130(a)(2).

(b) Water intensive landscape or turf shall only be located in rear yards.

(c) No water intensive landscape or turf shall be planted in any right of way. Drought tolerant plants or landscape listed under section 13.60.110 shall not be planted in any right of way, unless prior approval is obtained from the City.

(d) Prior to closing on a new residential unit, the developer shall provide the homeowner with a copy of the City requirements for water conservation. Upon receipt, the homeowner shall sign an affidavit of acceptance. The developer shall permanently maintain the signed affidavit.

13.60.140 Public Education

The City will use intensive public education to assist water users to understand the City's need for voluntary compliance. In addition to education, the City may use enforcement measures to curb water misuse.

13.60.150 Drought Management Plan Implementation

(a) The City Manager shall promulgate a drought management plan containing regulations setting forth the criteria for

implementation and termination of various water use reduction stages.

(b) The City Manager is authorized to declare a drought, and to implement a drought management plan, in response to events including, but not limited to, the following: reductions in supply from any water purveyor, or when an insufficient supply appears likely due to water system limitations or structural failure.

(c) Such declaration may designate the entire area of the City, or a portion of it if the shortage is not citywide.

(d) The City Manager may terminate the drought declaration when it is determined that the events that triggered the drought no longer exist.

13.60.160 Notification and Publication of Drought Management Plan

If the City Manager determines that the health and safety of the City dictate implementing the drought management plan, notification shall be published in a paper of general circulation, to educate the public about the need for the plan, and give them notice of conservation regulations and requirements of the applicable stage of the plan. A copy of the drought management plan shall also be available for inspection at the City Clerk's office.

13.60.170 Enforcement of Drought Management Plan

(a) The City Manager or his or her designee shall have authority to take actions to enforce any mandatory elements that are part of drought management plans.

(b) A written notice shall be placed on the property when a first violation occurs, and a duplicate mailed to the person who responsible for the service to the property where the violation took place. The notice shall describe the violation and order that it be abated immediately.

(c) For subsequent violations, the City will issue citations and fines according to the provisions of this chapter.

(d) Funds generated by the fines under this section shall be used to mitigate the impact of the drought.

13.60.180 Variances From Drought Management Plan

Variances to drought management plan provisions may be granted at the discretion of the City Manager or his or her designee. Applicants for a variance must apply in writing to the City manager or his or her designee, and demonstrate special circumstances such as health and safety needs or obligation of contract.

13.60.190 Limited Exemption to Restrictions for Users of Reclaimed Water

To the extent they are exempt from the drought management plan, users of reclaimed or recycled water shall clearly post notices stating that the water being used is not potable and not from the public drinking water supply, and is in conformance to drought management plan in force at the time.

13.60.200 Violations

(a) For a first violation of any provision of this chapter, the City shall issue a written notice of first violation and provide the violator with educational materials on water conservation, including a copy of the relevant provisions of this chapter. The City shall give the water user a reasonable period of time to correct the violation. Failure to correct the violation within a reasonable period of time shall constitute a second violation.

(b) For a second violation of any provision of this chapter, the City shall issue a written notice of second violation to the water user imposing a fine in an amount not to exceed Fifty Dollars (\$50.00), and requiring immediate correction of the violation.

(c) For a third violation of any provision of this section, the City shall issue a written notice of third violation to the water user imposing a fine in an amount not to exceed Two Hundred Dollar (\$200.00), and requiring immediate correction of the violation.

(d) For a fourth or subsequent violation of this section, the City shall impose a fine in an amount not to exceed Five Hundred Dollars (\$500.00). The fourth and each subsequent violation of this chapter shall be deemed a public nuisance, which may be abated pursuant to the procedures provided in Chapter 13.02 "Nuisances" of this Code.

(e) Any fine imposed under this section shall be collected in accordance with the procedures of Chapter 1.05 "Administrative Remedies" of this Code. Failure to pay any portion of a water user's account, including any fines imposed pursuant to this section, shall subject said account to termination of water service in accordance with the provisions of this section.

(f) In addition to the remedies set forth above, the City may seize equipment, line, fountains and other devices that are operated in violation of this chapter, until the fine is paid. The City may dispose of these items if the fine is not paid in six (6) months from the date the equipment was confiscated.

13.60.210 Right to Hearing

Any water user against whom a penalty is levied under this chapter shall have a right to a hearing before the City Manager or his or her designee.

Section 3. SEVERABILITY

The City Council declares that, should any provision, section, paragraph, sentence or word of this ordinance be rendered or declared invalid by any final court action in a court of competent jurisdiction or by reason of any preemptive legislation, the remaining provisions, sections, paragraphs, sentences or words of this ordinance as hereby adopted shall remain in full force and effect.

Section 4. REPEAL OF CONFLICTING PROVISIONS

All the provisions of the Victorville Municipal Code as heretofore adopted by the City of Victorville that are in conflict with the provisions of this ordinance are hereby repealed.

THIS ORDINANCE SHALL BE IN FULL FORCE AND EFFECT ON NOVEMBER 3, 2005.

PASSED, APPROVED AND ADOPTED THIS 4TH DAY OF OCTOBER, 2005.

Mike Rothschild
MAYOR OF THE CITY OF VICTORVILLE

ATTEST:

Carolee Bates
CITY CLERK

APPROVED AS TO FORM:

Michael J. ...
CITY ATTORNEY

I, CAROLEE BATES, City Clerk of the City of Victorville and ex-officio Clerk to the City Council of said City, DO HEREBY CERTIFY that the foregoing is a true and correct copy of Ordinance No. 2114 which was introduced at a meeting held on September 20, 2005 and duly adopted at a meeting held on the 4th day of October, 2005 by the following roll call vote, to wit:

AYES: Councilmembers Almond, Cabriales, Caldwell and Rothschild
NOES: None
ABSENT: Councilmember Hunter
ABSTAIN: None

Carolee Bates
CITY CLERK OF THE CITY OF VICTORVILLE

Single Family Residential

18.16.130 Landscaping.

(1) All landscaping shall be in accord with Section 13.60.060 of this Code and installed with a permanent irrigation system. All required front yard areas shall have a minimum of fifty (50) percent landscaping free of paved parking and driveway areas. Any areas used for pedestrian access or other landscape features utilizing paved areas shall be permitted at the discretion of the Director of Development or his designee.

(2) All landscaped areas shall be maintained in a neat, clean, orderly and healthful condition. This includes proper pruning, mowing of lawns, weeding, removal of litter, fertilizing, replacement of plants where necessary, the regular watering of all plants and the repair of landscape edging/curbing. Property owners shall provide a means to keep decorative rock in-place (i.e. landscape edging, mow curbing, etc.).

(3) All areas landscaped with decorative rock shall include a permanent weed barrier. In addition, the minimum rock size shall consist of three-quarter inch stone a minimum of three inches deep.

(4) All front yard areas installed with drought tolerant landscaping or those converted from water intensive landscaping to drought tolerant landscaping, must permanently remain drought tolerant.

(Ord. 2226 (part), 2008; Ord. 2184 § 1 (part), 2007)

Medium Density Residential

18.18.130 Landscaping requirements.

All areas of the site not occupied by buildings, improvements for the storage of vehicles and access thereto, or improvements identified in Section 18.18.110(2)(a)(iii and iv) shall be landscaped. Submission of a landscape plan shall be required for all multi-family residential housing. All multi-family residential housing shall have two years from the effective date of approval of the requirements to submit and gain approval of a landscape plan and install said landscaping. Landscape plans shall be submitted for administrative approval in accordance with landscaping standards established by planning commission policy. Landscaped areas and improvements shall be maintained in a neat, clean, orderly and healthful condition. This includes proper pruning, mowing of lawns, weeding, removal of litter, fertilizing, replacements of plants where necessary, the regular watering of all planting and the maintenance and repair of improvements.

(Ord. 2006 § 1 (part), 2003)

High Density Residential

18.20.130 Landscaping requirements.

All areas of the site not occupied by buildings, improvements for the storage of vehicles and access thereto, or improvements identified in Section 18.20.110(2)(a)(iii and iv) shall be landscaped. Submission of a landscape plan shall be required for all multi-family residential housing. All existing multi-family residential housing shall have two years from the effective date of approval of the requirements to submit and gain approval of a landscape plan and install said landscaping. Landscape plans shall be submitted for administrative approval in accordance with

landscaping standards established by planning commission policy. Landscaped areas and improvements shall be maintained in a neat, clean, orderly and healthful condition. This includes proper pruning, mowing of lawns, weeding, removal of litter, fertilizing, replacements of plants where necessary, the regular watering of all planting and the maintenance and repair of improvements.

(Ord. 2006 § 1 (part), 2003)

Very High Density Multiple Residential

18.22.130 Landscaping requirements.

All areas of the site not occupied by buildings, improvements for the storage of vehicles and access thereto, or improvements identified in Section 18.22.110(2)(a)(iii and iv) shall be landscaped. Submission of a landscape plan shall be required for all multi-family residential housing. All multi-family residential housing shall have two years from the effective date of approval of the requirements to submit and gain approval of a landscape plan and install said landscaping. Landscape plans shall be submitted for administrative approval in accordance with landscaping standards established by planning commission policy. Landscaped areas and improvements shall be maintained in a neat, clean, orderly and healthful condition. This includes proper pruning, mowing of lawns, weeding, removal of litter, fertilizing, replacements of plants where necessary, the regular watering of all planting and the maintenance and repair of improvements.

(Ord. 2006 § 1 (part), 2003)



City of Victorville

Department of Development

Planning • Building • Code Enforcement

14343 Civic Drive
PO Box 5001
Victorville, CA 92393-5001
(760) 955-5100
Fax (760) 269-0073
planreview@ci.victorville.ca.us

Plan Submittal Requirements

Single Family Residence and Duplex

- Joshua tree report
- Suspension agreement

Three complete sets of plans to include:

- One (1) set of grading plans in each set (if less than 50 cubic yards, a plot plan showing elevations and flow lines may be sufficient)
- Fully dimensional plot plan with APN
- Complete architectural and structural plans
- Plumbing isometrics for the system (not required for single story)
- Gas isometrics (pipe size, developed length, BTU, CHF, meter size and location)
- Percolation report for septic system (upon request)
- Electrical wiring diagram
- Roof plan (to include truss layout)
- Landscape AND irrigation plans (duplex only)

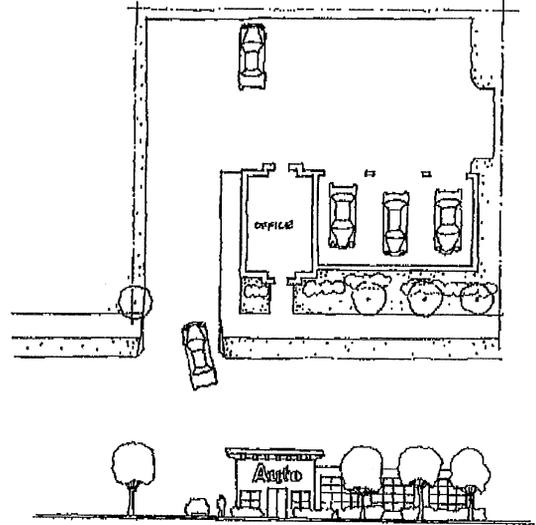
Two sets of the following are required:

- Truss calculations
- Energy calculations
- Structural Calculations

**ALL PLANS AND DOCUMENTS SUBMITTED SHALL BE WET SIGNED
(signature of architect or owner)**

G. Loading and Delivery

1. Loading and delivery areas shall be located in the rear of a site as opposed to the front where it shall be difficult to adequately screen them from view.
2. Loading docks, overhead doors and storage areas should not face streets and freeways, and preferably be located behind or to the side of buildings. Where oblique views of these features are possible from streets, freeways, connecting walkways or residences, the features should be screened through the use of walls, trellises, tall landscaping, or equivalent features. Loading docks and storage areas should not conflict with connecting walkways.
3. Loading and delivery areas shall not be located in required setbacks.
4. When residential properties are located directly adjacent to commercial properties, loading and delivery facilities should be located at the side of the building away from the residences or screened with mature vegetation and decorative block walls.
5. Overhead doors for auto-service uses need not front onto streets. Avoid facing auto-service bays, loading areas, and blank walls toward the street; orient these features to the side or rear while presenting windows, entries and landscaping to the street. Trees or other landscaping should be used to further screen these features when viewed from the street.

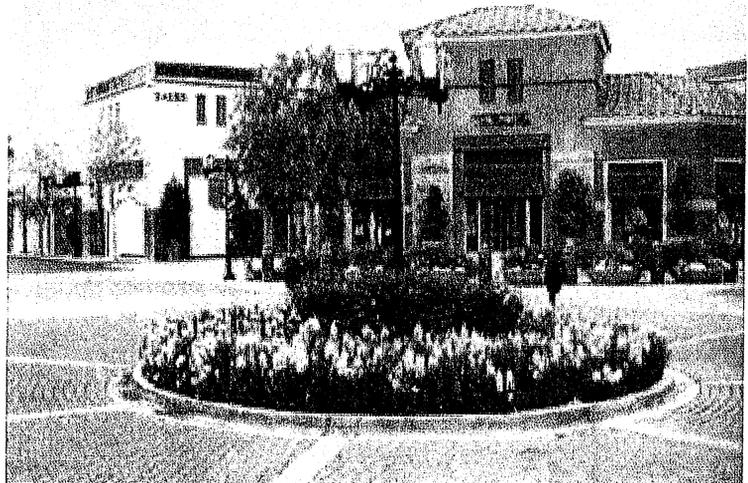


Preferred auto-serving retail building orientation

H. Landscaping

Landscaping within commercial developments shall conform with Water Conservation Ordinance 2114 and should incorporate the following design standards:

1. Native and low water use plants shall be used in developing the landscaping palette for a project (City Ordinance 2114).
2. Landscaping should consist of 24-inch, 36-inch and 48-inch box trees (15-gallon size in slopes), 5 and 15-gallon shrubs, and ground cover.
3. Exposed dirt is prohibited.
4. Wood chips are prohibited as a permanent form of ground cover.
5. Decorative rock should be used to cover areas that are not completely covered by plant material.
6. A six-inch wide planter curbing is required along the perimeter of all landscaped areas.
7. All planter strips abutting a public right-of-way shall be a minimum of five feet in width and include six inch



This formal planting area helps to create a visually stimulating landscape.

■ SITE PLANNING AND DESIGN

- Site Grading
- Buffers
- Off-Site Connections
- Plazas, Courtyards, Patios, Arcades
- Pedestrian Access
- Cart Return
- Loading and Delivery
- Landscaping
- Paving Treatment
- Parking and Circulation
- Project Entry Design
- Parking Lot Area Planting

■ BUILDING DESIGN

- Continuity
- Massing
- Scale
- Roof Forms and Parapets
- Sides and Backs of Buildings
- Windows and Doors
- Awnings and Umbrellas
- Arches, Porches, Covered Walkways
- Building Materials and Texture
- Colors

NOTES

Empty rectangular box for notes.



City of Victorville

Development Department

14343 Civic Drive
PO Box 5001
Victorville, CA 92393-5001
(760) 955-5100
Fax (760) 269-0073
planreview@ci.victorville.ca.us

Plan Submittal Requirements

Commercial / Multi-Family / Industrial

Three complete sets of plans shall include all items listed below:

- Architectural plans with 1 set grading plans attached to each set
- Fully dimensional site plan with APN
- Complete architectural and structural plans (shall incorporate Planning Commission's Conditions of Approval)
- Water isometrics and sizing calculations for the system (pipe size, developed length, meter size, and location)
- Gas isometrics (pipe size, developed length, BTU, CHF, meter size, and location)
- Electrical wiring plan (load calculations, disconnect service, wire size, single line drawing)
- HVAC mechanical plans
- Truss layout
- Landscape and irrigation plans
- Site Utility Plan including sewer and on-site fire protection (hydrant locations, water lines, FDC, and PIV locations)

Four complete sets of Civil improvement plans (bound separately), including the following (if applicable):

- Street
- Storm Drain
- Sewer (off-site and/or facilities dedicated to the City)
- Water (off-site and/or facilities dedicated to the City)
- Grading/Erosion Control

Two sets of the following are required:

- Truss calculations (if applicable)
- Energy calculations
- Structural calculations
- Soils report

One copy of the following is required before permit issuance:

- Joshua Tree Inspection Report (approved by Parks and Recreation Department)
- Completed copy of MDAQMD application (with approval signature from MDAQMD)
- Fully completed Special Inspector and Testing Agreement
- State of California Notice of Intent (NPDES) with WDID number (if over 1 acre)
- Environmental Health Department approval (if applicable)

ALL PLANS AND DOCUMENTS SUBMITTED SHALL BE WET SIGNED
(Signature of architect or owner)



City of Victorville

Department of Development

Planning • Building • Code Enforcement

Building Plan Review Division – Revision/Correction List

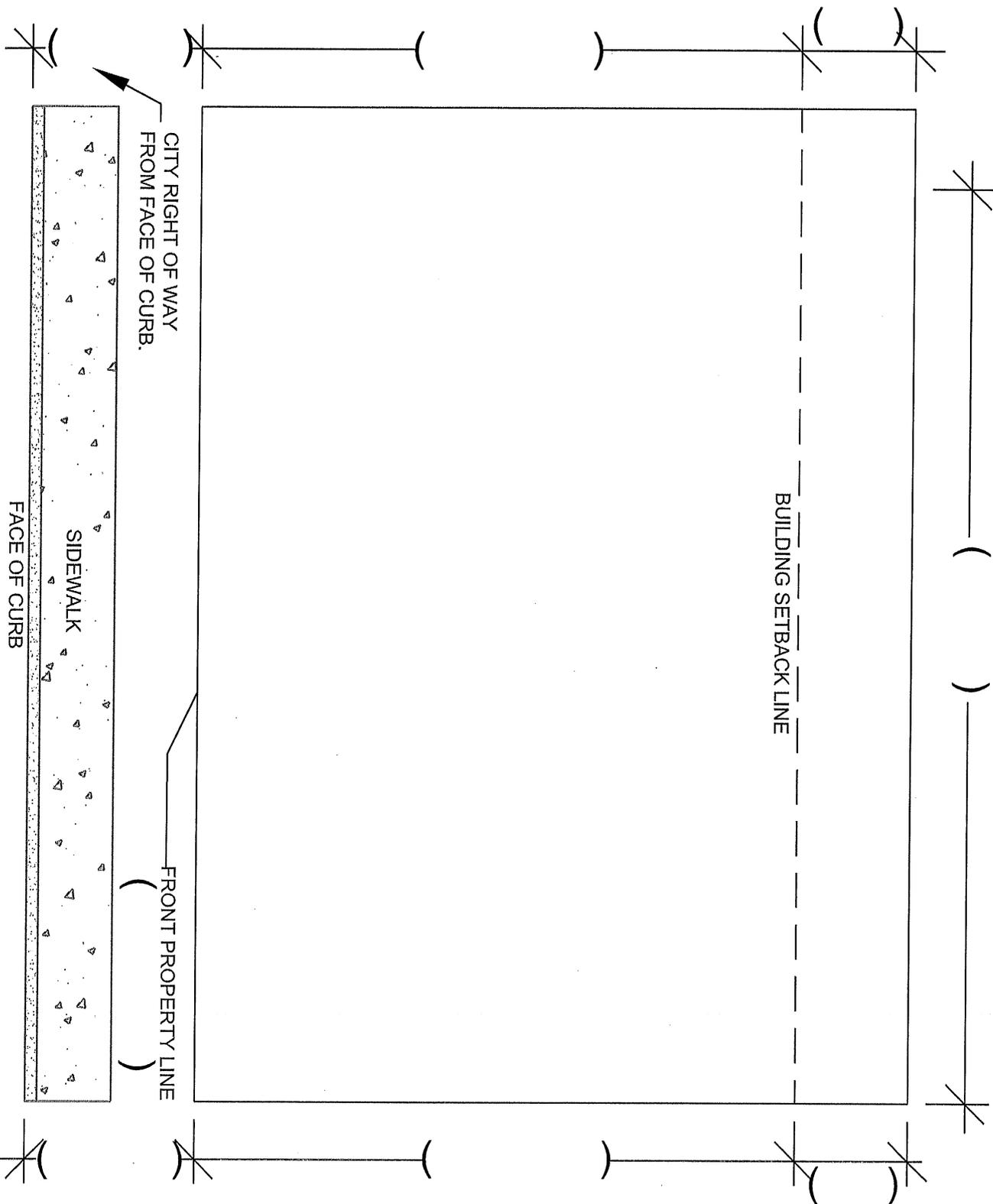
14343 Civic Drive
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Permit No. _____

Date Submitted _____

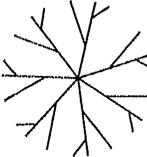
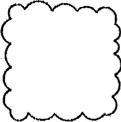
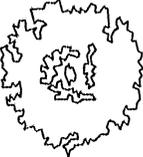
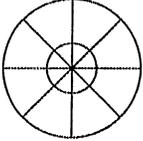
FRONTYARD LANDSCAPE PLAN



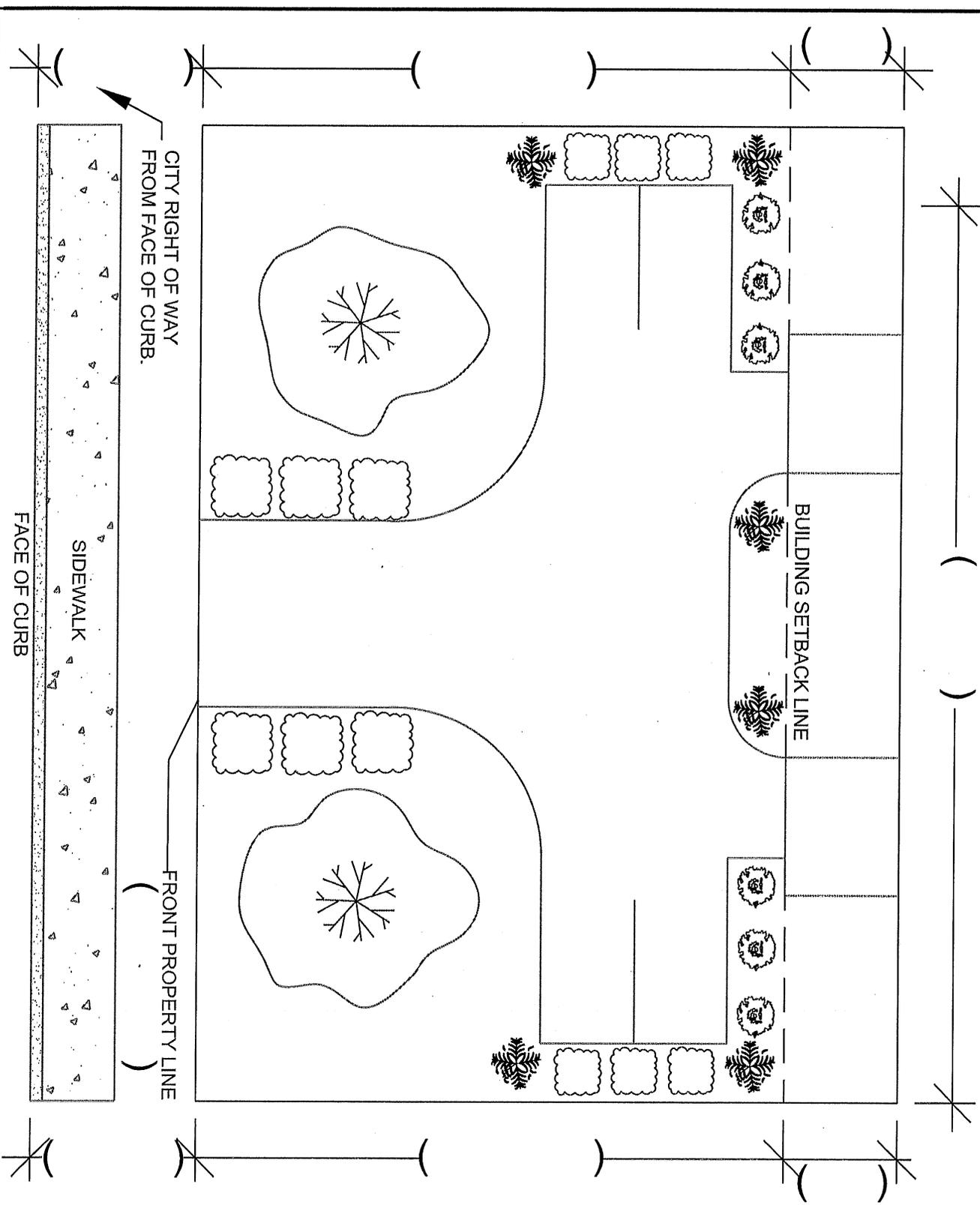
JOB ADDRESS _____
 OWNER _____
 APN NO. _____
 PERMIT NO. _____



Development Department Building Division	
FRONTYARD LANDSCAPE PLAN	
14343 Civic Drive Victorville, CA 92393	(760) 955-5100 Fax (760) 269-0073
10/26/06	

SYMBOLS	SPECIES	CONSTANT GROUND COVER 1
	TREES	<input type="checkbox"/> GRAVEL (COLOR) _____ <input type="checkbox"/> DECOMPOSED GRANITE (COLOR) _____ <input type="checkbox"/> BARK, MULCH, OR WOOD CHIPS _____
	ACCENTS	CONSTANT GROUND COVER 2 <input type="checkbox"/> GRAVEL (COLOR) _____ <input type="checkbox"/> DECOMPOSED GRANITE (COLOR) _____ <input type="checkbox"/> BARK, MULCH, OR WOOD CHIPS _____
	SHRUBS	CONSTANT GROUND COVER 3 <input type="checkbox"/> GRAVEL (COLOR) _____ <input type="checkbox"/> DECOMPOSED GRANITE (COLOR) _____ <input type="checkbox"/> BARK, MULCH, OR WOOD CHIPS _____
	LIVING GROUND COVERS	NOTES: *ALL EXPOSED DIRT SHALL BE COVERED BY SOME FORM OF GROUND COVER *ALL VEGETATION SHALL BE IRRIGATED
	ORNAMENTAL GRASSES	
	PERENNIAL FLOWERS	
	OTHER	<div data-bbox="776 1728 1003 1969" data-label="Image"> </div> <div data-bbox="1015 1728 1518 1801" data-label="Text"> <p>Development Department Building Division</p> </div> <div data-bbox="1015 1801 1518 1906" data-label="Section-Header"> <p>LANDSCAPE WORKSHEET</p> </div> <div data-bbox="1015 1906 1177 1969" data-label="Text"> <p>14343 Civic Drive Victorville, CA 92393</p> </div> <div data-bbox="1177 1906 1356 1969" data-label="Text"> <p>(760) 955-5100 Fax (760) 269-0073</p> </div> <div data-bbox="1356 1906 1518 1969" data-label="Text"> <p>11/8/06</p> </div>

FRONTYARD (STREET SIDE) LANDSCAPE PLAN



JOB ADDRESS _____
 OWNER _____
 APN NO. _____
 PERMIT NO. _____



Development Department
 Building Division

FRONTYARD LANDSCAPE PLAN

14343 Civic Drive Victorville, CA 92393	(760) 955-5100 Fax (760) 269-0073	11/8/06
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VICTORVILLE WATER DISTRICT

Rates and Fees

The District's operational, capital, and other expenditures are funded by customer fees and charges. On November 8, 2008, following a public hearing and in compliance with the notice and protest provisions of Proposition 218, the Board of Directors of the Victorville Water District approved Resolutions VWD 08-013 and VWD 08-015, fixing charges for water, water services, and other related fees and charges. The effective date of these Resolutions is for all billings issued on or after December 1, 2008. Consumptive and periodic service fees were adjusted upward 13.6% to 15.4%, depending on consumption. The new rates are as follows:

Water-use (consumption) fee: This amount is based upon how much water is used during the billing period. This rate is fixed at \$1.34 per 100 cubic feet of consumption (except for construction flow-meter which is \$2.15 per 100 cubic feet).

Periodic (monthly) service charge: This fee is based upon average daily use or consumption during the billing period.

Average Daily Use in Units of 100 cubic feet*	Rate	Service Charge
0.00 – 0.25	Basic	\$15.00
0.26 – 1.17	Conservation	16.00
1.18 – 6.60	Standard	32.00
6.61 +	Premium	115.00

*100 cubic feet of water equals 748 gallons

Other Fees and Charges: No other fees or charges have been adjusted.



When Are Permits Required?

The following is a partial list of home improvements that require permits:

- ***Addition or alteration to existing mechanical, plumbing, or electrical (including installation of new HVAC units, upgrading or relocating electrical service, etc.)***
- ***Deck***
- ***Demolition of buildings (interior and exterior)***
- ***Fence***
- ***Garage conversion***
- ***Garage or carport***
- ***Gazebo***
- ***Guest house***
- ***Lawn sprinklers***
- ***Mobile home carport, awning or earthquake bracing***
- ***Mobile home set down***
- ***Patio cover***
- ***Patio enclosure***
- ***Re-roofing, over 1 square (100 square feet)***
- ***Retaining or garden wall***
- ***Room addition***
- ***Septic tank replacement***
- ***Sewer hook up***
- ***Slab with footings (on-site flat concrete work, such as sidewalks or driveways, do not require permits; curb cutting – see the Engineering Department)***
- ***Storage shed (over 120 square feet)***
- ***Swimming pool or spa (18 inches deep or deeper)***

8. All planter strips abutting a public right-of-way shall be a minimum of five feet in width and include six inch wide curbing abutting the required planter strip.
9. Landscaping should be in scale with adjacent buildings and be of appropriate size at maturity to accomplish its intended goals.
10. Use of vines on walls is appropriate in industrial areas because such walls often tend to be large and blank.
11. Trees should be located throughout the parking lot and not simply at the ends of parking aisles. (Refer to the "Parking Lot Area Planting" section).
12. Trees and shrubs should be located and spaced to allow for mature and long-term growth. Trees and shrubs should provide minimal root problems.
13. Landscaping should occur at the entire base of the building to soften the edge between the parking lot and the structure. Accent planting should be used around entries and key activity hubs.
14. Planting should be used to screen less desirable areas from public view, i.e., trash enclosures, parking areas, storage areas, loading areas, public utilities, and mechanical equipment.



Accent planting enhances building entries.

H. Parking Lot Area Planting

1. Appropriate lighting and landscaping should be provided, including shade trees and lampposts style (Refer to lighting section of these Guidelines).
2. Areas not used for vehicle parking or maneuvering, or for the movement of pedestrians to and from vehicles should be used for landscaping.
3. Trees should be distributed throughout the parking lot so as to maximize the aesthetic effect and compatibility with adjoining uses.
4. Trees should be located throughout a parking lot and not merely at the ends of parking rows. Trees should be sized at 24-inch box or larger at the time of installation so as to provide shade to parked cars and add aesthetic appeal to the project.
5. Planter islands and landscape fingers should have a minimum interior dimension of five (5) feet and should be located throughout the parking lot and at the end of all parking rows.
6. Where parking spaces meet head to head, tree wells and/or landscape fingers should be spaced between the parking spaces at the following ratio:

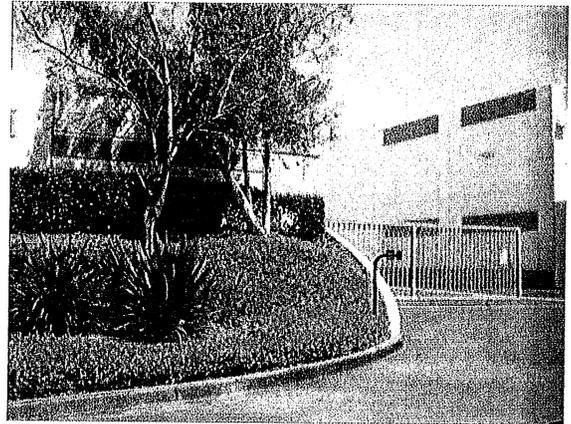


Trees should be located throughout the parking lot and not merely at the ends of parking rows.

Type	Maximum Parking Space Separation	Required Trees
Tree Wells	Eight (8) parking spaces (every 4 spaces in width)	One (24" box)
Landscape Fingers	Twelve (12) parking spaces (every 6 spaces in width)	Two (24" box)

D. Pedestrian Circulation

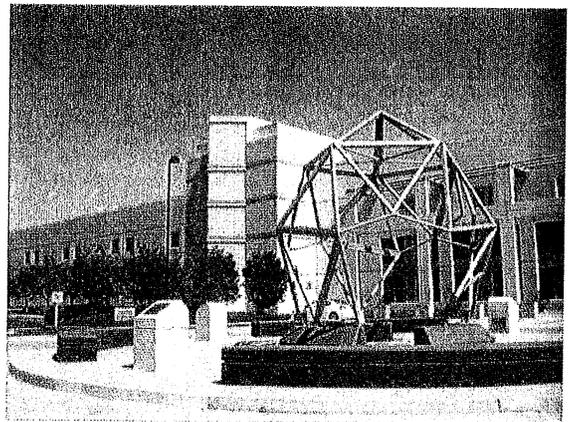
1. Safe, clear pedestrian circulation must be provided between buildings, parking areas and from off-site access points.
2. Access between transit/bus stops to building entrances should be clearly defined.
3. The on-site pedestrian circulation system should be directly connected to off-site public sidewalks.
4. Vehicle and pedestrian circulation should be separate. The need for pedestrians to cross parking aisles and/or service aisles should be minimized.



Berms, landscaping and an architecturally compatible wall provide adequate screening of service areas.

E. Loading Facilities

1. To alleviate the unsightly appearance of loading facilities for industrial uses, these areas shall not be located at the front of buildings or adjacent to the public street where it is difficult to adequately screen them from view.
2. Service areas should be screened with portions of the buildings, architectural wing walls and landscape planting.
3. Loading and delivery areas should be clearly marked with directional signage where multiple access points are provided.
4. Loading areas shall be designed so that trucks do not back onto or otherwise use the adjoining street.



New developments are encouraged to incorporate public art.

F. Open Space, Park Land, and Trails

1. Public or private common open space is encouraged.
2. Employee break/ recreational areas should be incorporated into the overall design of the project.
3. Convenient access to public or private parks should be incorporated into the project by way of bicycle and pedestrian pathways.

G. Landscaping

1. Landscaping should be used to define areas by helping to focus on entrances to buildings, parking lots, and loading areas as well as defining the edges of various land uses, providing transition between neighboring properties (buffering), and providing screening for outdoor storage, loading and equipment areas.
2. Native and low water use plants shall be used in developing the landscaping palette for a project (City Ordinance 2114).
3. Landscaping should consist of 24-inch, 36-inch and 48-inch box trees (15-gallon size in slopes), 5 and 15-gallon shrubs, and ground cover.
4. Exposed dirt is prohibited.
5. Wood chips are prohibited as a permanent form of ground cover.
6. Decorative rock should be used to cover areas that are not completely covered by plant material.
7. A six-inch wide planter curbing is required along the perimeter of all landscaped areas.

■ SITE PLANNING AND DESIGN

- Site Grading
- Paving Treatment
- Parking and Circulation
- Pedestrian Circulation
- Loading Facilities
- Open Space, Park Land, and Trails
- Landscaping
- Parking Lot Area Planting
- Walls and Fencing

■ BUILDING DESIGN

- Continuity
- Massing
- Building Form
- Roof Forms and Parapets
- Roof Drains
- Windows
- Entry Features
- Building Materials and Texture
- Colors

■ UTILITY & MECHANICAL EQUIPMENT

- Equipment Screening
- Trash and Recycling Enclosures

■ LIGHTING

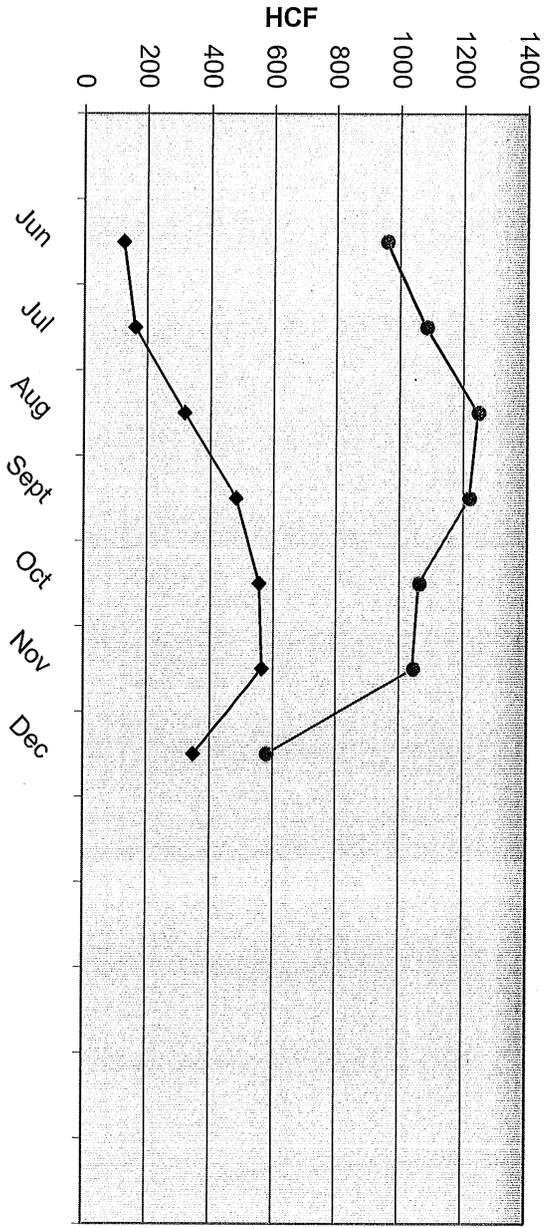
■ SIGNAGE

NOTES

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2006-Drought Tolerant VS Traditional Grass Landscape

Tract 16755-Subject to Ordinance 2114- 65 developed lots
 Tract 16682-Traditional Grass-42 developed lots



Difference: 4,633 HCF or 11 AC FT

◆ Tract 16755	Total Usage: 2552 HCF
● Tract 16682	Total Usage: 7185 HCF